

# **Battleford West Community Telegraph Heights**

## **Architectural Guidelines Exhibit "B"**

Forming part of the 'Telegraph Heights Building Scheme Restrictive Covenant Providing For Building and Development Restrictions at Battleford West Telegraph Heights Subdivision'.

August 15, 2008

## **Battleford West Architectural Controls**

### **Introduction**

This document provides the general design requirements for residential properties located in Telegraph Heights zoned R1.



The Battleford Post Office along with the Court House and Town Hall were built in the early 1900's, which will be the inspiration for the overall development. Defined as Classical Revival Architecture the archetype applies Greek planning principals. This era of architecture in conjunction with the commercial development 'Old Town Plaza' will be catalysts for defining the residential development. This unifying theme will assist in defining the gateway to the residential community. Aspects of early 1900's residential design will create the guidelines outlined in the following document.

The Battleford West Architectural Controls is specific to the built form in relation to scale and massing of building forms, the application of materials and colours to exterior walls and roofs, the application of architectural features, and the choice and location of windows and doors.

### **Town of Battleford Zoning and Building Areas**

Battleford West Architectural Controls are intended to supplement the Battleford Zoning Bylaws. Developments are to be governed by the Battleford Zoning Bylaw. In the event that there are contradictions between these two documents, Battleford Zoning Bylaw will govern except for minimum building areas in which case this document takes precedence.

#### **For Lots: 1,5,6,10,11,14 & 15 in Block 94 and Lots 1,2,6,7,8,9,13,14,15,16,20 & 21 in Block 95 the following shall apply;**

For a Bungalow and bi-level home the minimum combined area of the house and garage must be at least 1,600 square feet. The house must be a minimum of 1,300 square feet and the garage can be no greater than 600 square feet. When calculating minimum areas it does not include any decks, verandahs or the basement.

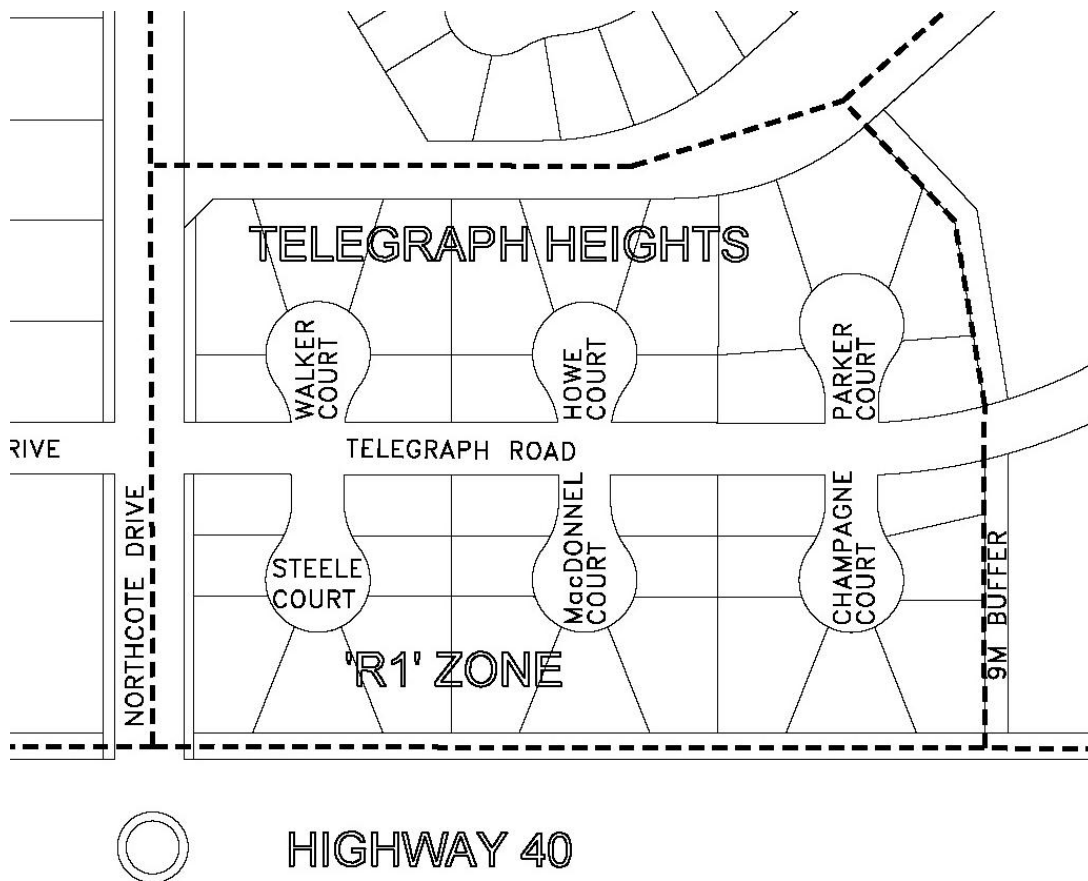
For a 2- storey or a 1.5 split home the minimum combined area of the main floor and upper level areas shall be 1,800 square feet. This includes the front verandah but excludes any rear deck, the garage and the basement. The garage can be no greater in area than 750 square feet.

**For Lots: 2,3,4,7,8,9,12 & 13 in Block 94 and Lots 3,4,5,10,11,12,17,18& 19 in Block 95 the following shall apply;**

For a Bungalow and bi-level home the minimum combined area of the home and garage must be at least 2,000 square feet. The house must be a minimum of 1,450 square feet and the garage can be no greater than 750 square feet. When calculating minimum areas it does not include any decks, verandahs or the basement.

For a 2 – storey or a 1.5 level split home the minimum combined area of the main floor and upper level areas shall be 2,200 square feet. This includes the front verandah but excludes any rear deck, the garage and the basement. The garage can be no greater than 800 square feet.

On all Lots the maximum site coverage from all buildings is 45% of Lot area.



Partial Zoning Map August 2008 indicating  
Telegraph Heights in Battleford West,  
Battleford, Saskatchewan.

### Architectural Controls for Single Detached Dwelling – R1, R4 and R4a

#### Verandah

A minimum of 100sf of verandah is to be facing the front street. A verandah is a roofed opened gallery or porch. It is usually partly enclosed by a railing and frequently extends across the front of the house. A minimum of 50% of the verandah is to be covered with a roof. If the floor of the verandah is greater than 2'-0" above grade a guardrail is required and the face of the space below the floor is to be enclosed with a material that is complementary to the entire facade.



### Roof slope

Roof slope minimum 5/12 to a maximum of 12/12. Sloped roofs to have minimum 18" overhang. The exposed roof area when calculated perpendicular to a vertical viewing plane should not exceed 40% of the total projected wall and roof area. Alternatively, large roof areas should be broken down into smaller volumes by varying the roof planes, or by introducing dormers. Permitted roof cladding types include cedar shingles, clay or concrete tile in earth tones only (not red), asphalt shingles to be black or dark earth tones.



### Exterior cladding material coverage

A minimum of two major exterior cladding materials must be used. Each material must cover a minimum of 10% of the total area of the front façade and the accent material must extend a minimum of 4'-0" around walls flanking the front façade.

### Exterior cladding types

A variety of exterior Finishes must be consistent with the architectural style and consistent on all four elevations. All exterior materials and detailing must be approved by the Design Committee.

Materials that are preferred include:

- natural stone
- brick
- cultured stone

Materials to consider include:

- wood siding/shakes
- hardboard
- hardi-plank

Material allowed with limitations on the front façade include:

- Vinyl siding, aluminum siding and stucco is only allowed 3'-0" above grade.
- Metal siding is generally not allowed unless approved by the Design Committee.



### Exterior Colours

Selected colours to match the range available in the Benjamin Moore “Historical Colours” collection. Visit the Benjamin Moore website at [www. Benjamin moore.com](http://www.Benjaminmoore.com) and link through: ‘For Your Home’- Explore Colour’ - ‘Benjamin Moore Virtual Fan Deck’ to view the available colours within the Historical Colour palette.



### Windows and Doors

- Blank walls without fenestrations facing a street are not allowed.
- If imitation shutters are used they must be proportioned to give the impression that they are functional and capable of covering most of the window.
- Glazing to be clear without reflective coatings.
- Primary entrance must be visible from the street and compliment the design of the house.
- Brick moldings around windows must be a minimum of 4” wide on the sides and 5” on top and bottom.



### Garages and Garage doors

A maximum of a three-car garage is allowed to face the street. The garage can be either attached or detached from the house. Typically garage doors account for a large portion of the exterior visible from the street. Therefore garage doors to be 'Carriage' style, which is available in varying designs with varying hardware accessories. Windows in the doors is optional.

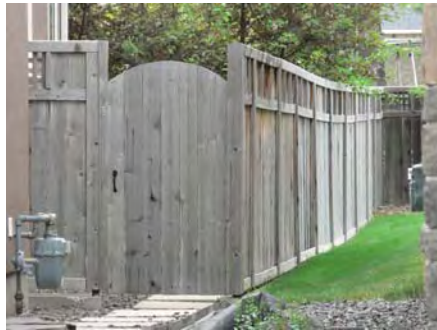


### Landscaping

- The front yard parallel to the front property line and the whole required side yard on a corner lot except for entrance lanes landscaped with a minimum of sod within 9 months of the completion date of the house.
- 'Xeriscaping' which refers to landscaping in ways that do not require supplemental irrigation is not allowed.
- Provide a minimum of a single 6'-0" high coniferous tree or deciduous trees with 2" diameter calipers located within the front-yard not closer than 10 feet to the home.

### Fencing

- Fencing is not mandatory
- All Fencing constructed for side or rear yards must be no greater than 5 feet high
- Fencing material to be un-finished cedar only



### Repetitive Limit – R1 zone only

Houses that have similar exterior design and/or architectural features are to be avoided in close proximity to one another. Repetition is to be limited and separation between similar designs will vary depending upon location. The Design Committee retains sole discretion.



### Suggested Architectural Features

The following features are only provided as a guide to assist in achieving the character defining the development.

- A widow's walk is a railed rooftop platform, typically on a coastal house, originally designed to observe vessels at sea. The name comes from the wives of mariners, who would watch for their spouses return. In some instances, the ocean took the lives of the mariners, leaving the women as widows. The women would often thereafter gaze out to sea wishing beyond hope that their loved ones would return home and hence the name widow's walk was born.



An example of a widow's walk and soffit brackets.



An example of a chimney.

- Soffit brackets is the exposure of the framing members that create the eave of the roof.
- A chimney was traditionally a vertical shaft to vent the smoke from a wood-burning fireplace and typically constructed of masonry.
- Knee braces are a short diagonal timber placed between the horizontal and vertical framing members to make them ridged. These should only be placed when determined to compliment the architectural theme of the house.
- A dentil is one of a series of closely spaced rectangular blocks that form a molding. The dentil molding usually projects below the soffit.
- Energy Performance – Sustainable design uses less energy, water and natural resources; creates less waste; and is healthier and more comfortable for the occupants. Visit the web site [www.usgbc.org](http://www.usgbc.org) for a comprehensive checklist of available features available to make you're home more 'green'.

### Design Committee Discretion

The Design Committee has the discretion to make changes to the Design Guidelines and may approve variances.

### Design Review Process

In accordance with the Restrictive Covenant Building and Development Restrictions a drawing package including plans, exterior elevations, and a finish schedule is to be submitted to the Battleford West Design Committee and approval received prior to an application to the Town of Battleford for a building permit.