

BATTLEFORD WEST COUNTRY ESTATES

DESIGN GUIDELINES EXHIBIT "B"

**Forming part of the Country Estates Building Scheme Restrictive Covenant
providing for Building and Development Restrictions at Battleford West Country
Estates Subdivision**

Country Estates Architectural Controls

Town of Battleford Zoning and Building Areas

Battleford West Country Estates Architectural Controls are intended to supplement the Battleford Zoning Bylaws. Developments are to be governed by the Town of Battleford Zoning Bylaw. In the event that there are contradictions between these two documents, Battleford Zoning Bylaw will govern except for minimum building areas in which case this document takes precedence.

For a bungalow and bi-level home the minimum combined area of the house must be at least 1450 square feet. When calculating minimum area it does not include any decks, verandahs or the basement.

For a 2 storey or 1.5 split home the minimum combined area of the main floor and upper areas shall be 1,800 square feet. This excludes any verandah, decks, the garage and basement.

Exterior Cladding Types

A variety of exterior finishes are permitted and must be consistent with the architectural style and consistent on all four elevations. All exterior materials and detailing must be approved by the Design Committee.

Materials that are preferred include:

- natural stone
- brick
- cultured stone

Materials to consider include:

- wood siding/shakes
- hardboard
- hardi-plank
- acrylic stucco

Materials not allowed include:

- Vinyl and aluminum siding
- Metal siding is generally not allowed unless approved by the Design Committee

Garages & Out Buildings

A minimum two-car garage is required. The garage can be either attached or detached from the house. All detached garages or accessory buildings of any sort shall have exterior finishes that match or coordinate the primary house. Placement shall in be accordance with the Town of Battleford Zoning guidelines

Fencing

Fencing is not mandatory. Wood Fencing is only permitted in the areas lined in red on the attached plan. All other areas if fencing is desired must be metal ornamental fencing as set out in the Ornamental Fencing Specifications attached hereto. All fencing shall not be greater in height than six (6) feet.

Design Committee Discretion

The Design Committee has the discretion to make changes to the Design Guidelines and may approve variances.

Design Review Process

In accordance with the Restrictive Covenant Building and Development Restrictions a drawing package including plans, exterior elevations and a finish schedule is to be submitted to the Battleford West Design Committee and approval received prior to an application to the Town of Battleford for a building permit.

Fencing Specifications

- Fencing Plan – wood fence areas outlined in Red – Drawing Attached
- Ornamental Fencing Spec – Riteway Fencing (supplier not mandatory but 10% discount offered) - Attachments

Schedule “B” to the Country Estates Agreement for Sale

COUNTRY ESTATES BUILDING SCHEME

A

**RESTRICTIVE COVENANT PROVIDING FOR
BUILDING AND DEVELOPMENT RESTRICTIONS AT
BATTLEFORD WEST COUNTRY ESTATES SUBDIVISION**

Whereas:

1. Battleford West Properties Ltd., hereinafter referred to as “BWP” is the developer and is, or was, owner of all those lands described in Schedule “A” attached hereto and known as the “Battleford West Country Estates Subdivision”, hereinafter referred to as “The Lots” and;
2. BWP desires to insure that all development within or upon The Lots shall maintain certain standards of architectural excellence for the benefit of all property owners of The Lots, both present and in the future, their heirs, successors, and assigns in the Battleford West Country Estates Subdivision and for the benefit of BWP, its heirs, successors, and assigns, as owners of lands adjacent to The Lots;
3. The party signing as owner also desires to ensure the same standards for the benefit of the owner, his heirs, successors, and assigns and also to ensure owners of lands adjacent to the owner within The Lots are so maintained.

NOW THEREFORE THIS DEED WITNESSETH; that in consideration of the foregoing Battleford West Properties Ltd. and the owner do hereby for themselves, their assigns, their successors in title, covenant as follows:

1. In this Agreement, unless there is something in the agreement to the contrary, the following terms have the following respective meanings:
 - a. the “Design Committee” shall mean BWP from the date of execution hereof until the committee has been appointed pursuant to paragraph 4 hereof and thereafter shall mean the Design Committee as Appointed until the Design Committee has been elected as provided for in clause 4 hereof.
 - b. “Authority of the Design Committee” shall be with BWP until appointment of the committee pursuant to clause 4 hereof, then it shall be with the appointed Design Committee until an elected Design Committee is in place pursuant to clause 4, but in which event shall be no earlier than a date in which BWP no longer owns any Lots.
 - c. Any “Notice” required under this Agreement shall be deemed to have been given upon:
 - i. notice being personally served on any owner of any lot,
 - ii. five days following mailing of written notice to any owner of any Lot addressed to the owner at the address as reflected in the current Certificate of Title issued to the owner, or
 - d. “Owner” shall mean any registered owner of any land within The Lots, or any purchaser, and his successors or assigns, who has entered into an

- agreement to purchase a lot from BWP within the Country Estates Subdivision, and shall include BWP.
- e. "Design Committee" shall also include a corporation incorporated pursuant to the laws of Saskatchewan for the purposes of conducting the business of the Design Committee should the Design Committee decide to incorporate.
2. All those lots and parcels of land set forth in Schedule "A", attached hereto, called "Country Estates" and being shown in a registered plan of subdivision filed in the Land Titles office for the Town of Battleford shall be developed only in conformity with;
 - a. the conditions and covenants set out in this Battleford West Country Estates Building Scheme; and
 - b. the Building, Zoning and other relevant By-Laws of the Town of Battleford.
 3. The Lots and parcels described in Schedule "A" shall be deemed to form the Battleford West Country Estates Building Scheme, and the land use and building restrictions and conditions herein shall be deemed to be covenants running with the land and shall be binding upon and enure to the benefit of all lots and parcels and owners thereof, both present and future. Such land use and building restrictions and conditions may be enforced by any owner, both present and in the future, of any lot or parcel described in Schedule "A", or by BWP by reason of its ownership of lands adjacent to The Lots set forth in Schedule "A".
 4. BWP shall, at a time when it has sold all Lots, appoint a committee, hereinafter referred to as "the Design Committee", which shall consist of three persons. The Design Committee, once appointed, shall continue in office from the time of its appointment and thereafter unless and until its members are replaced as hereinafter provided:
 - a. In the event that a member of the Design Committee resigns, dies, or becomes incapacitated from performing their duties as a member of the Committee, the remaining members of the Design Committee shall fill the vacancy by appointing a new member within 30 days of the event causing the loss of a Committee member.
 - b. After BWP no longer owns any Lots, the owners of Lots may replace and elect all of the representatives of the Design Committee. The owners of The Lots may summon a meeting to elect a new Design Committee to replace the existing Design Committee. The procedure for summoning and conducting a meeting to elect a new design committee shall be as follows:
 - i. A minimum of five owners, each from separate Lots, must sign the Notice, which Notice shall clearly indicate that a meeting is being called to elect a new Design Committee for the Battleford West Country Estates Building Scheme. The Notice must also designate the date, time and place where the meeting will be held. All meetings shall be held at a private venue in Battleford, Saskatchewan, but it shall be open to all owners of any Lots, and shall not commence earlier than 10:00 am nor later than 8:00pm.

- ii. Notice must be provided to all owners of Lots not less than 20 days in advance of the meeting and not more than 50 days in advance of the meeting.
 - iii. The Chairperson of the meeting shall be an owner and shall be appointed by the owners that summoned the meeting.
 - iv. Conduct of the meeting, including nominations and elections of the new Design Committee, shall be conducted in accordance with recognized Roberts Rules of Order.
 - v. There shall be one vote per lot and shall be by secret ballot.
5. It shall be the purpose of the Design Committee to ensure the maintenance of a high standard of architecture in such a manner as to enhance the aesthetic properties of buildings and their appurtenances, constructed on any of The Lots. The Design Committee shall be guided by the Design Guidelines which are attached hereto as Exhibit "B". The Design Committee shall interpret the Design Guidelines and shall determine whether such conditions contained in this Building Scheme and Design Guidelines are being complied with and shall have the power to enforce compliance in any manner that the Design Committee deems appropriate. The Design Committee may grant exceptions to any conditions herein, when and if the enforcement of such conditions would be unreasonable and impractical, and thereby create undue hardship in individual circumstances. The Design Committee may adopt such further reasonable rules and policies as it deems necessary to carry out its duties.
6. No failure on the part of BWP or the Design Committee or of any other owner or owners to enforce promptly and fully the conditions and covenants and restrictions of the Building Scheme and/or the Design Guidelines shall be deemed a waiver of the right of BWP, or the Design Committee, or any owner or owners to enforce the conditions, covenants, and restrictions of this Building Scheme and/or Design Guidelines. The Restrictive Covenants contained herein are severable; and the invalidation of one shall not invalidate any other Restrictive Covenant or performance standard herein, and such covenant or standard shall be independent to such extent that the waiver of any one or more of these restrictive covenants or performance standards by the Design Committee, BWP, or by the owner or owners of any of The Lots, shall in no way be construed as a waiver of any of the other restrictive covenants or performance standards.
7. For the purpose of carrying out its functions under the Building Scheme and/or Design Guidelines, the Design Committee may hire, employ, and retain engineers, architects, surveyors, planners, and solicitors. Costs incurred in the operation of the Design Committee shall be borne by BWP until it no longer is a lot owner and thereafter by the owner or owners of lots in the Building Scheme who request or require the approval or any action by the Design Committee. The Design Committee and its members acting in good faith shall be indemnified by all the owners of lots contained in the Building Scheme from any costs, fees, damages, or

expenses which they may be required to pay to any lot owner in the Building Scheme by any court of competent jurisdiction.

8. The land covered by the Building Scheme and Design Guidelines shall be used for private residential purposes only, and no attached or semi-detached house, duplex or apartment shall be erected on the said lands, provided that nothing herein shall prevent the owner of any lot making adequate provision for domestic staff. Notwithstanding the foregoing secondary suites as defined within the Town of Battleford Bylaws shall be permitted. Where an ancillary building such as a garage, garden shed or shop is erected its exterior finish must be completed within one (1) year and its exterior finish must coordinate in quality and design with the principal residence.
9. No residence shall be used for any other purpose than that of a private dwelling for a single family, the family's domestic staff or secondary suites.
10. None of the land within the Building Scheme or any buildings erected thereon shall be at any time used for the purpose of any profession, trade or business of any description, or as a school, hospital, group home of any kind, or other charitable institution; or as a hotel, hostel, apartment house, boarding or lodging house, or place of public resort.
11. All developments and construction upon a lot shall comply with any relevant bylaws of the Town of Battleford.
12. All construction and development upon The Lots shall be done in a good and workmanlike manner, in accordance with the National Building Code of Canada, and all necessary approvals of any federal, provincial, municipal government or agency having jurisdiction shall be first obtained and complied with.
13. The purchaser of any lot shall be responsible for all damages to adjacent lands as a result of any construction or other activities on or near the subject lands or other parts of the development. In particular the purchaser of any lot agrees to pay for all damages to the roads, water system, utility systems, survey pins, fences and other items servicing The Lots. If any damages exist at the date of purchase, such damages must be documented and brought to the attention of BWP in writing.
14. The Lots shall not be used to store, within a reasonable period of time, unused equipment, vehicles, accessories & materials not intended to be utilized for a purpose on the Lot. No lot shall be used for depositing, dumping, burning or storing of any refuse, trash, garbage, or discarded building materials. All rubbish, trash or garbage shall be removed from the property, and shall not be allowed to accumulate thereon.
15. No exterior or interior signs, advertisements, or billboards of any kind shall be erected or exhibited in any manner on or about any of the said lots, without the prior written approval of the Design Committee. Such approval shall be in the form

- prescribed by the Design Committee. The issuance of approval shall be within the sole reasonable discretion of the Design Committee, provided that the owner of any lot or his agents may post a sign upon any of The Lots advertising The Lot for sale or lease.
16. No poultry or livestock shall be kept or maintained on any of the said lots. This paragraph shall not be construed however as a prohibition or in any manner interfering with the reasonable keeping of ordinary domestic pet animals; provided that no business for selling or boarding ordinary domestic pet animals shall be established on any of the said lots.
 17. No buildings shall be erected on the lands unless plans showing the location of the said buildings on the properties with elevations have been submitted to the Design Committee and written approval obtained. It is the intention of the parties hereto that all residences erected on the said lands shall have as far as possible, a desirable view of the surrounding countryside and no residences or other buildings shall be placed on the lands unless the location of the building on the lands has been approved by the Design Committee, acting reasonably.
 18. No buildings shall be erected on the said lands unless the color and exterior design of the building shall have been approved by the Design Committee and no alteration of the color or exterior design of any building upon the said lands shall be made without the approval of the Design Committee. The Design Committee shall be guided by the Design Guidelines.
 19. No addition to any buildings, or any change in color scheme of any buildings shall be made unless the plans and specifications and details have been submitted to the Design Committee and approval in writing obtained. The Design Committee shall be guided by the Design Guidelines, acting reasonably.
 20. No trailer, or recreational vehicle or living accommodation or truck exceeding one (1) ton capacity shall be parked or placed on the lands except in the garage erected thereon or in a reasonably screened or semi-screened area, providing that nothing herein shall prevent an owner from permitting trucks, trailers, or recreational vehicles to be parked on any of The Lots for a period not exceeding seven days.
 21. No excavation shall be made on The Lots except for the purposes of building, or for the improvement of the gardens or grounds thereof. No soil, sand or gravel shall be removed from The Lots except with the permission of the Design Committee.
 22. The owner of any Lots herein covenants and agrees to provide easements and rights of way for the construction of services, ingress and egress, upon and through The Lots.
 23. The water services shall be taken from the Town of Battleford and not from any other party, individual well, or similar systems for water.

24. No evaporation or air-heating or conditioning unit or tower shall be located on the roof of any structure unless screened by walls or other adequate means in such a manner as to conceal them from the view of neighboring lots and streets. All such units, clotheslines, fixtures, swimming pool filters, water systems, woodpiles, or storage piles, articles, goods or materials, business or personal, shall be walled in or kept screened by adequate plantings, walls or other means in such a manner as to conceal them from the view of the neighboring lots and streets.
25. No outdoor toilets may be erected or maintained on any part of any lot or property except during construction on the applicable lot or property.
26. No person shall alter the existing natural drainage without the prior written approval of the Design Committee.
27. All open areas of the said Lots shall be maintained in a dust-free condition by landscaping with trees, shrubs, suitable ground cover, undisturbed natural growth or by covering with a material that will provide an all-weather surface.
28. No unscreened out-door storage shall be permitted and all areas used for storage shall be enclosed on all sides by a masonry wall or solid fence not less than six (6) feet nor more than eight (8) feet in height. No materials or products shall be stacked to exceed the height of the wall.
28. Should it be necessary at any time for the Design Committee to employ counsel, to enforce any of the provisions, conditions, restrictions, performance standards or covenants herein contained, all costs incurred in the enforcement thereof including but not limited to a reasonable fee for counsel shall be paid by the owner or owners of a lot or lots who through their breach make it necessary for the Design Committee to enforce such provisions, conditions, restrictions, performance standards or covenants.
29. The Design Committee and the members thereof shall have a lien upon such lot or lots to secure payment and restitution caused by any breach of the provisions, conditions, restrictions, performance standards or covenants herein contained.
30. If, in the opinion of the Design Committee, any such owner is failing in his duty and responsibility, then written notice shall be given personally to the owner, or mailed to, at his address as disclosed on his Certificate of Title to undertake the care and maintenance required to restore the said property to a safe, clean, attractive and lawful condition. Should such owner fail to fulfill or commence to fulfill this duty and responsibility within seven (7) days from receipt of such notice, then the Design Committee shall have the right and power to undertake such care and maintenance. The owner of the property on which such work is performed shall be liable for the cost of any such work and shall promptly reimburse the Design Committee for the cost thereof. If such owner shall fail to comply within thirty (30) days after being billed therefore, then said cost including all reasonable expenses incurred therefore

shall be a debt of such owner payable to the Design Committee, and shall be a lien against any such owner's property.

36. Any approval of any plan or works by BWP and/or the Design Committee shall not be construed as a warranty or representation of any kind as to the fitness of the plan or works, and BWP and the Design Committee are hereby released from any claims, demands, or damages whatsoever that may occur as a result of any defect in the plan or works.

37. The Design Committee may assign its rights to BWP or any member of the Committee for the purposes of enforcement of the terms of this Building Scheme.

IN WITNESS WHEREOF Battleford West Properties Ltd. has hereunto caused its corporate seal to be affixed as attested to by its proper officers duly authorized in that behalf.

Battleford West Properties Ltd.

Per: _____

IN WITNESS WHEREOF the owner, _____,
has hereunto affixed his/her signature this ____ day of _____, 20__.

Witness

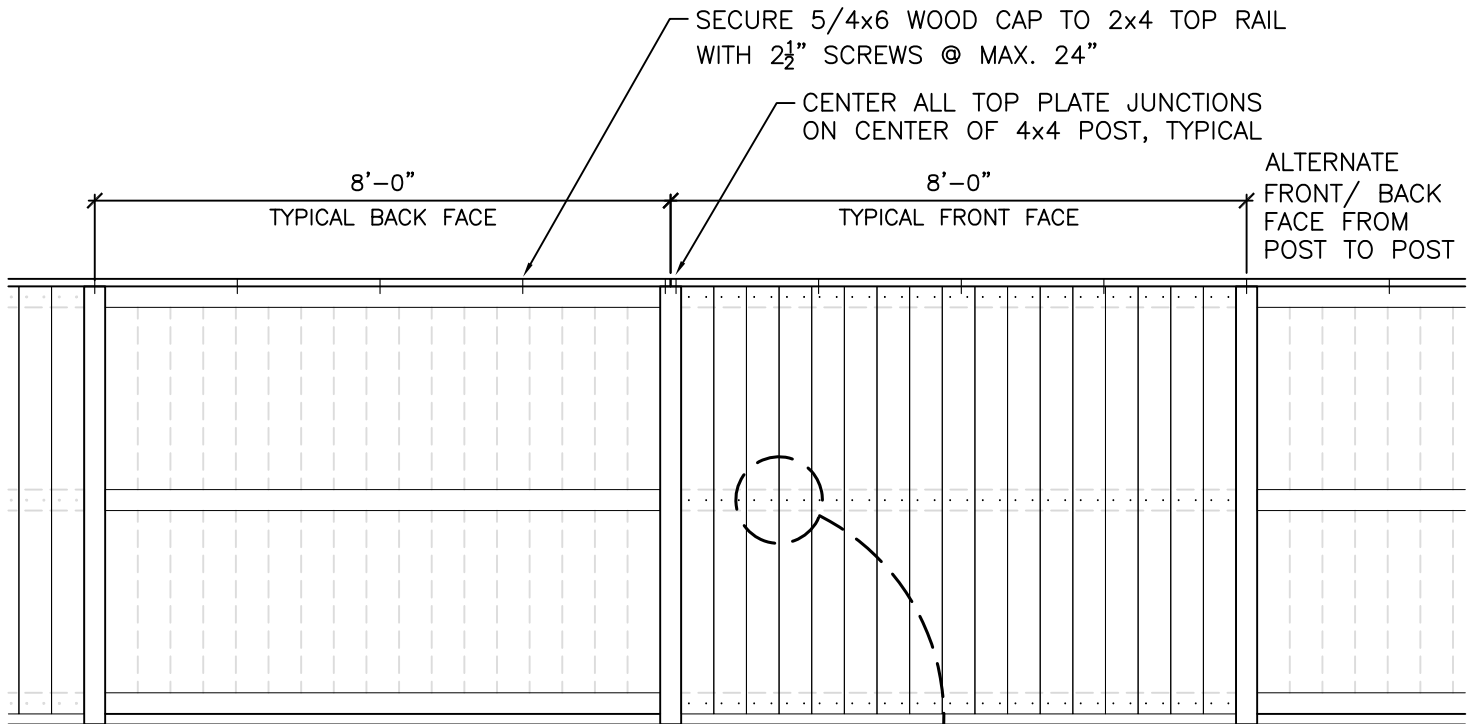
Owner

Witness

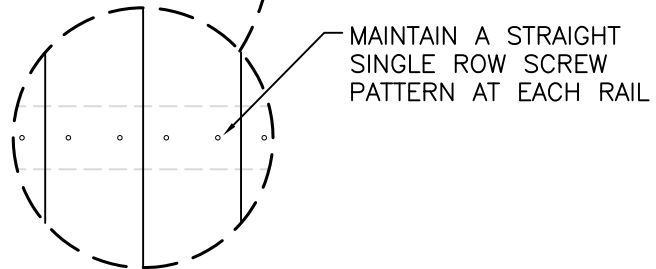
Owner

SCHEDULE A – SUBDIVISION PLAN

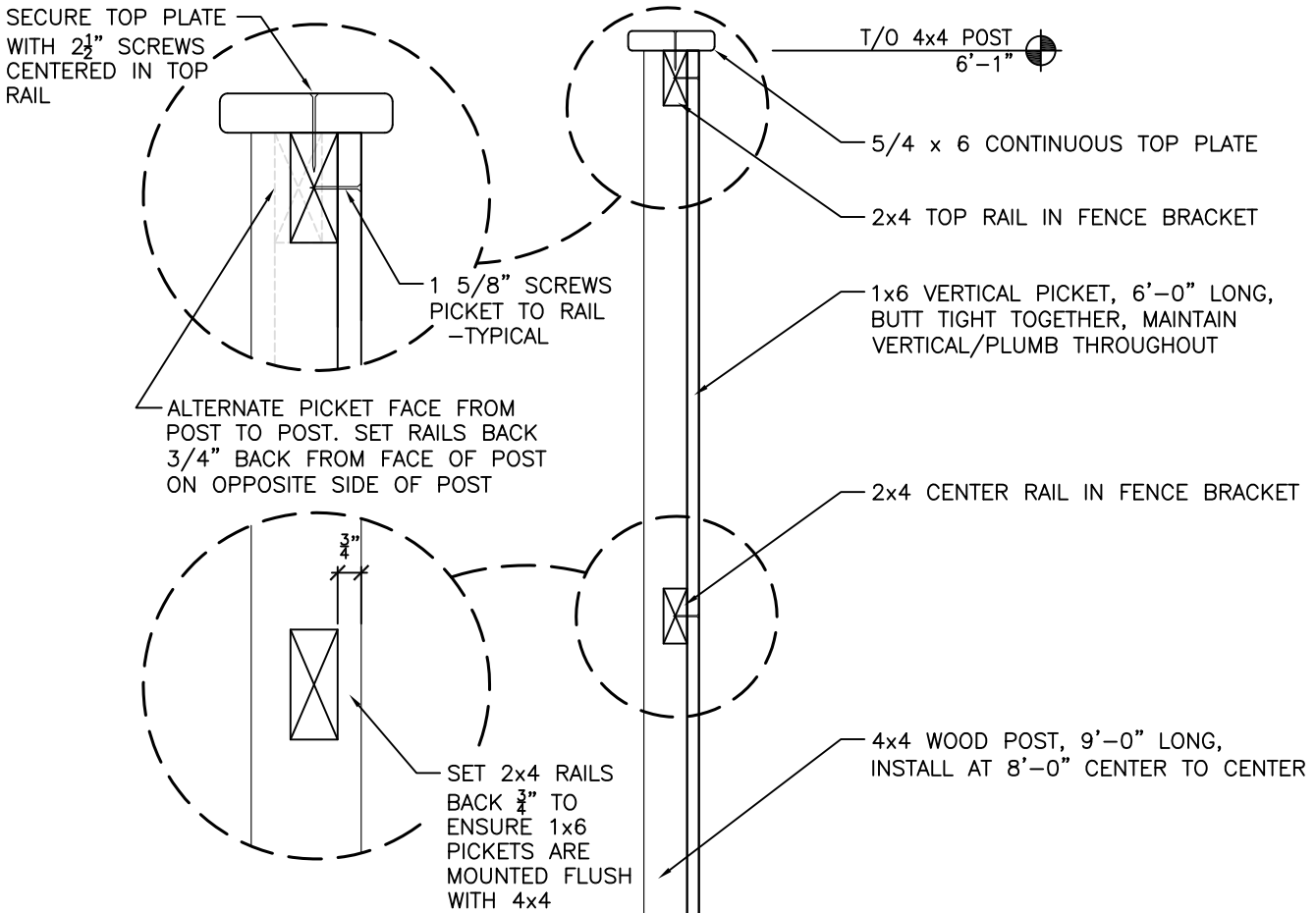
COUNTRY ESTATES STANDARD FENCE CONSTRUCTION DETAILS



1 FENCE ELEVATION
A1 3/8"=1'-0"



PROJECT No: DK18-01	DO NOT SCALE DRAWINGS. COPYRIGHT OF HERON GEOMETRIC. VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK.	SCALE: AS SHOWN	2018-12-07	PLOT No: 1
	CLIENT: BATTLEFORD WEST PROPERTIES LTD.	PROJECT: FENCE DESIGN - COUNTRY ESTATES	SHEET No: A1	
		DRAWING: FENCE ELEVATION		

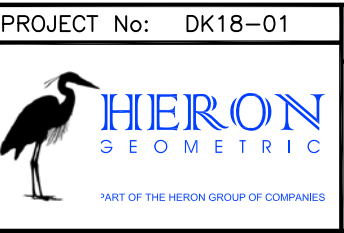
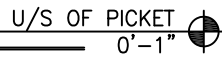
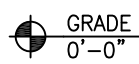


CONSTRUCTION NOTES

1. ALL WOOD TO BE PRESSURE TREATED GREEN LUMBER
2. SECURE METAL FENCE BRACKETS AND VERTICAL PICKETS WITH GREEN 1 5/8" SCREWS.
3. SECURE 5/4x6 TOP PLATES WITH 2 1/2" GREEN SCREWS.

NOMINAL LUMBER EQUIVALENTS

NOMINAL	ACTUAL SIZE
5/4x6	1" x 5 1/2"
1x6	3/4" x 5 1/2"
2x4	1 1/2" x 3 1/2"
4x4	3 1/2" x 3 1/2"



PROJECT No: DK18-01

DO NOT SCALE DRAWINGS. COPYRIGHT OF HERON GEOMETRIC. VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK.

CLIENT:
BATTLEFORD WEST PROPERTIES LTD.

SCALE: AS SHOWN

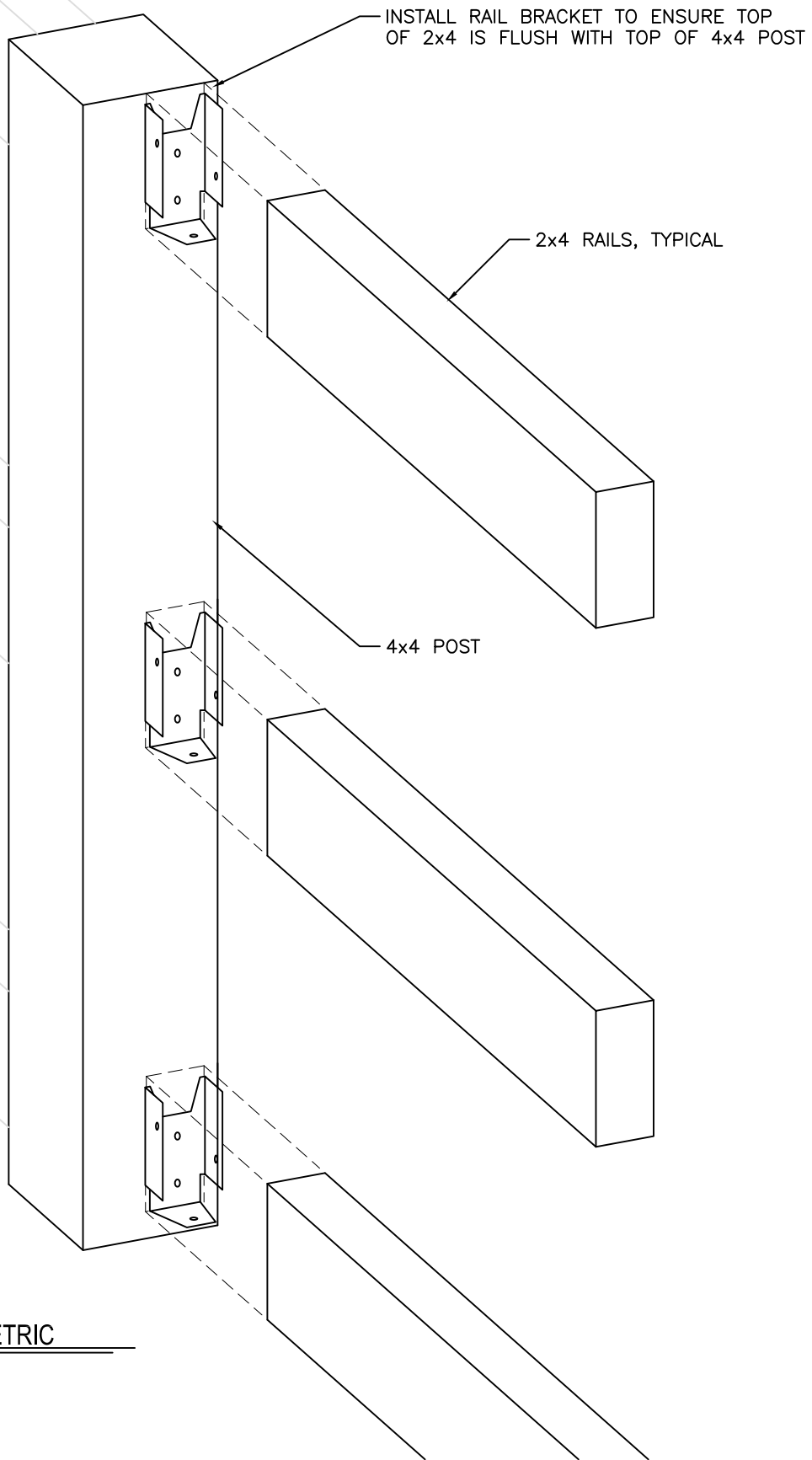
2018-12-07

PROJECT:
FENCE DESIGN - COUNTRY ESTATES


DRAWING:
FENCE SECTION

PLOT No: 1

SHEET No:
A2



1 FENCE ISOMETRIC
A3 1"=1'-0"

PROJECT No: DK18-01	DO NOT SCALE DRAWINGS. COPYRIGHT OF HERON GEOMETRIC. VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK.	SCALE: AS SHOWN	2018-12-07	PLOT No: 1
 <p>HERON GEOMETRIC <small>PART OF THE HERON GROUP OF COMPANIES</small></p>	<p>CLIENT: BATTLEFORD WEST PROPERTIES LTD.</p>	PROJECT: FENCE DESIGN - COUNTRY ESTATES		<p>SHEET No: A3</p>
		DRAWING: FENCE ISOMETRIC		



MONTAGE[®]

RESIDENTIAL ORNAMENTAL STEEL FENCE



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ASSA ABLOY, the global leader in door opening solutions

AMERISTAR[®]

ASSA ABLOY



THE MONTAGE® DIFFERENCE



LIFETIME WARRANTY

The Montage families of fencing products are manufactured from superior quality materials by skilled craftsmen with the highest standards of workmanship in the industry. Ameristar is confident in offering Montage with a Lifetime Limited Warranty (*the first of its kind*), backed by an American company with over 30 years of demonstrated excellence in manufacturing ornamental fencing products.



E-COAT vs PAINTED STEEL

Major corrosion problems start from the inside. That's why all products in the Montage family are coated inside and outside. Our galvanized steel framework is subjected to a multi-stage pre-treatment/wash (*with zinc phosphate*), followed by a duplex cathodic electrocoat system consisting of an epoxy primer, which significantly increases corrosion protection, and an acrylic topcoat, which provides the protection necessary to withstand adverse weathering effects. This process results in years of maintenance-free ownership. Simply painting steel on the outside leaves it vulnerable to corrosion, which in turn destroys the entire fence.



Competitors Painted Rail
(outside only)



Montage E-Coated rail
(outside and inside)

-  Acrylic Topcoat
-  Epoxy Primer
-  Zinc Phosphate
-  Galvanic Zinc



BE SURROUNDED WITH

Beauty & Protection

Montage ornamental steel fence is unparalleled in strength and quality, adapts to virtually any terrain, withstands vast shifts in climate yet remains untouched by time in stately elegance. This fence offers an array of customizable options to fit your unique sense of style and application.

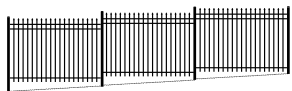


PROFUSION WELDED STEEL vs ALUMINUM

All Montage fence panels are fabricated using Ameristar's ProFusion welding process. This technique combines laser and fusion technology to create a virtually invisible structural connection at every picket to rail intersection. Unlike typical aluminum fence systems that are held together with unsightly screws, the ProFusion weld used with Montage promotes a "good neighbor" profile with sleek lines and no exposed picket to rail fasteners. When compared to residential aluminum fencing, Montage's welded steel construction is unmatched in strength and durability.



Fully rakeable panels



Stair-stepping panels

RAKEABLE vs STAIR-STEP

The ProFusion welded panel design of Montage enables maximum bias for virtually all terrains. Being the only welded steel fence capable of following steep grade changes, Montage follows uneven ground contours like a second skin. This eliminates stair-stepping panels with the flexibility of a 48" rise in an 8' run.

ENVIRONMENTALLY RESPONSIBLE

Ameristar proudly leads the way in manufacturing programs and practices to reduce our carbon footprint and has developed methods to reduce our energy consumption. We consistently monitor air emissions, storm water runoff, and waste water discharge. We also recycle all of our scrap steel, wood, cardboard, plastics, paper and oil products. Montage is fabricated from domestic steel that contains up to 97% recycled content.





CLASSIC™

Timeless Elegance

Classic style features extended pickets that culminate to an arrow-pointed spear capture the beautiful look of old style wrought iron fencing. Single, double and arched walk gates that perfectly match this fence style are also available.

- ❖ *2-rail panels in 3', 3½', 4' and 5' heights, with a standard or flush bottom rail*
- ❖ *3-rail panels in 3', 3½', 4', 5' and 6' heights, with a standard or flush bottom rail*



MAJESTIC™

Modern Beauty

Majestic's flush top rail projects a clean, streamlined look that make it one of the most popular styles in the Montage family. Single, double and arched walk gates that perfectly match this fence style are available as well.

- ❖ *2-rail panels in 3', 3½', 4' and 5' heights, with a standard or flush bottom rail*
- ❖ *3-rail panels in 3', 3½', 4', 5' and 6' heights, with a standard or flush bottom rail (4½' panels available with flush bottom rail only)*



GENESIS™

Creatively Distinct

Genesis style's extended flat-topped pickets serve as a foundation for your choice of accent finials providing a customized design. Single, double and arched walk gates that perfectly match this fence style are available as well.

- ❖ *2-rail panels in 3', 3½', 4' and 5' heights, with a standard or flush bottom rail*
- ❖ *3-rail panels in 3', 3½', 4', 5' and 6' heights, with a standard or flush bottom rail*



WARRIOR™

Traditional Character

Alternating picket heights coupled with each picket culminating into an arrow-pointed spear, give the Warrior style a distinctive look that is a hallmark of wrought iron fencing. Single and double swing gates that perfectly match this fence style are also available.

- ❖ 2-rail panels in 3', 3½', 4' and 5' heights, with a standard or flush bottom rail
- ❖ 3-rail panels in 3', 3½', 4', 5' and 6' heights, with a standard or flush bottom rail



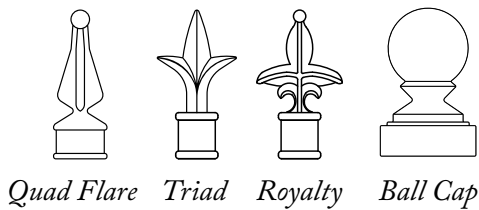
CRESCENT™

Sophisticated Charm

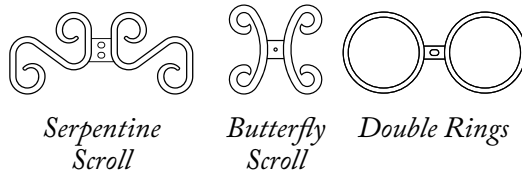
Crescent style is a unique old world look with pressed-spear pickets protected by arched steel loops. Single and double swing gates that perfectly match this fence style are also available. *(Not rakeable).*

- ❖ 2-rail panels in 3', 3½', 4' and 5' heights, with a standard or flush bottom rail
- ❖ 3-rail panels in 3', 3½', 4', 5' and 6' heights, with a standard or flush bottom rail

FINIALS & ADORNMENTS



Quad Flare Triad Royalty Ball Cap



Serpentine Scroll Butterfly Scroll Double Rings

COLOR OPTIONS



Black Bronze

MONTAGE® POOL, PET & PLAY

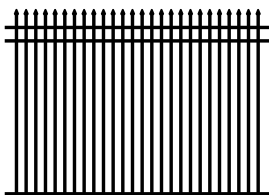


Relax or Splash

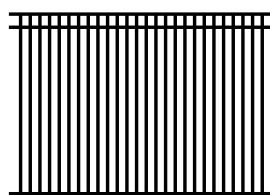
SAFELY & IN STYLE

Montage Pool, Pet & Play provides additional safety for pets and children with 3" airspace between pickets. The 3" airspace of the Montage Pool, Pet & Play gives these panels a more robust appearance, as well as increased panel strength due to the additional picket to rail connections.

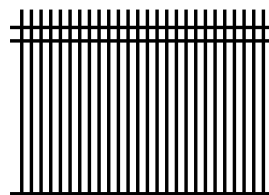
- ❖ *2-rail panels in 3', 3½' and 4' heights, with a standard or flush bottom rail (available in Majestic or Gemini only)*
- ❖ *3-rail panels in 3', 3½', 4', 5' and 6' heights, with a standard or flush bottom rail (4½' Majestic panels available with flush bottom rail only)*



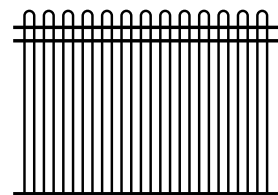
Classic



Majestic



Genesis



*Gemini
(not rakeable)*

AVAILABLE GATE SYSTEMS



Steel Estate Entry Gate



EXPERIENCE YOUR

Grand Entrance

For the perfect finishing touch to your project, Montage offers several gate options to compliment any installation. Montage's single arched swing gates, traditional single swing and double swing gates are crafted with fully welded construction for years of durability. Fabricated with the same components as the fence panel these Montage gates provide a seamless transition from ornamental fence to decorative gate. A variety of steel Estate® Entry Gates are also available to accent any entry.



WHY CHOOSE AMERISTAR

KNOWLEDGE & EXPERIENCE

Ameristar was chartered 30 years ago in response to the demand by consumers and specifiers for specialty fence products. Ameristar offers an aesthetically pleasing product that is both high in quality and affordability. This has been achieved by maximizing high-volume productivity, increasing product design strength, and promoting simplistic installation.

PROVEN CAPABILITY

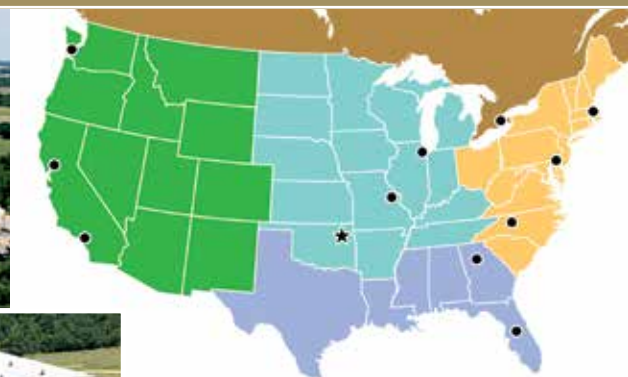
Ameristar's integrated in-house process and extensive raw material inventory results in much improved productivity and availability compared to the competition. By having a vast finished goods inventory, Ameristar is capable of delivering finished products faster than competitors who sublet the majority of their operations.

INDUSTRY LEADERSHIP

Over the years Ameristar has continually raised the bar across the board in the manufacturing of high quality, innovative fencing products. Our demonstrated commitment to upholding higher values translates into superior products that go far beyond merely meeting minimum industry standards.



Ameristar's world headquarters, manufacturing & coil processing facilities in Tulsa, Oklahoma, USA.



LEGEND

- ★ Ameristar Headquarters
- Sales & Service Centers



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November 30th 2018

**To: Country Estates (Battleford Sk)
& Battleford West Properties LTD.**

RE: Ornamental Lot Fencing

Good Day:

Please accept this letter as confirmation that Battleford West Properties Ltd. And Rite-Way Fencing (2000) Inc in Saskatoon have a purchase agreement whereas all lot owners of "Country Estates" in Battleford SK will receive a 10% discount on all Ameristar ornamental fencing when purchased through Rite-Way Fencing Saskatoon Branch. This discount will include both supply only orders and supply and install orders.

We are pleased to be in partnership with Battleford West Properties Ltd, and we look forward to working with you, the new home owner!

If you have any questions please feel free to contact me directly.

Regards,

MIKE RICHARDS
Branch/Operations Manager
Rite-Way Fencing (2000) Inc.
720 45th St W
Saskatoon, SK. S7L 5X1
Phone: (306) 933-4411

THE RITE-WAY GROUP OF COMPANIES

